



CITY ADMINISTRATOR
Michael E. Parks

PLANNING COMMISSION
Kim Skriba
Carolyn Wade
Bo Bland
Jon Gomolak
Robert Yoe

**PLANNING
COMMISSION
AGENDA
May 15, 2024
1 Auburn Way
6:00 p.m.**

CALL TO ORDER:
APPROVAL OF AGENDA

APPROVAL OF MINUTES – March 20, 2024

OLD BUSINESS TABLED FROM LAST MEETING, March 20, 2024 -Presented by McQuade, City Planner

1. **Case: OAR 24-001**, Sullins Engineering, LLC has submitted an application for review in accordance with the provisions of the Auburn Downtown Overlay District Architectural Review (17 .91.070) for approval of a site plan, landscaping & building design including elevations & architectural details of a proposed townhome development located on a portion of 0 6th Street (Tax Parcel AU1 121 pt).

NEW BUSINESS- None

**Citizen Comments
Announcements
Adjournment**

Agenda subject to change...



Mayor
Richard E. Roquemore

City Council
Robert L. Vogel III
Taylor Sisk
Jamie Bradley
Joshua Rowan

City Administrator
Michael E. Parks

Planning & Zoning
Commission Meeting Minutes

March 20, 2024

Meeting Called to order by Chairwoman Kim Skriba

Approval of the agenda, all in favor, motion carried.

Approval of minutes from March 20, 2024, motion to approve, 2nd - all in favor.

Public Hearing Procedures read by Chairwoman Skriba

Old Business presented:

1. **Case: OAR 24-001**, Sullins Engineering, LLC has submitted an application for review in accordance with the provisions of the Auburn Downtown Overlay District Architectural Review (17 .91.070) for approval of a site plan, landscaping & building design including elevations & architectural details of a proposed townhome development located on a portion of 6th Street (Tax Parcel AU1 121 pt).

Sarah McQuade-City Planner stated applicant requested to table application prior to the meeting due to applying for a variance that is scheduled to be heard by the Zoning Board of Appeals for May 8, 2024 and made the recommendation that the item be tabled until after the ZBOA meeting.

Motion was made to table until May 15, 2024, 2nd-all in favor until May 20, 2024, meeting.

Chairwoman Skriba read the new item on the agenda City of Auburn Commercial Parking Ordinance 17.100.50.

City Attorney Jack Wilson presented the Proposed Amendment of the Commercial Vehicle Ordinance to the Commission Members explaining that they could make recommendations to the changes in the ordinance.

Public Comment was made by C. Sewell about a poll he took and a few comments on the truck ordinance.



COMMUNITY DEVELOPMENT DEPARTMENT

CITY OF AUBURN
1369 FOURTH AVENUE
AUBURN, GA 30011
PHONE: 770-963-4002
www.cityofauburn-ga.org

MEMORANDUM

TO: Planning & Zoning Commission Members
FROM: Sarah McQuade, City Planner
DATE: May 13, 2024
RE: Auburn Downtown Overlay District - Architectural Review

Dear Planning & Zoning Commission Members,

During the March 12, 2024, meeting, the Planning & Zoning Commission voted to table the application (OAR24-001) until the next regularly scheduled meeting, at the applicant's request. The applicant requested to table the item so they could pursue a variance from the front façade design standards of the Auburn Downtown Overlay District (ADOD, [17.91](#)).

Since then, the applicant has applied for a variance from the front façade design standards found in Sec. 17.91.050(2)(b)(i) which requires a minimum of seventy-five percent of the street-facing building façade between three feet and eight feet in height must be comprised of clear windows that allow views of indoor space or product display areas.

At their regularly scheduled meeting on May 10, 2024, the Zoning Board of Appeals voted to table the item to their June meeting, scheduled for June 12, 2024. The item was tabled so the applicant could redesign the proposed townhomes to be more in accordance with the ADOD design standards.

The applicant has requested that the OAR review before you be tabled until June 19, 2024.

Staff recommends that this item be tabled to the regularly scheduled June meeting of Planning & Zoning Commission meeting so that a decision on the requested variance has been made by the Zoning Board of Appeals.

If you have any questions or need any additional information, please do not hesitate to contact me.

Thank you.

CC: Mayor and Members of City Council
Michael Parks
Jack Wilson



COMMUNITY DEVELOPMENT DEPARTMENT
CITY OF AUBURN
1369 FOURTH AVENUE
AUBURN, GA 30011
PHONE: 770-963-4002
www.cityofauburn-ga.org

MEMORANDUM

TO: Planning & Zoning Commission Members
FROM: Sarah McQuade, City Planner
DATE: March 12, 2024
RE: Auburn Downtown Overlay District - Architectural Review

Dear Planning & Zoning Commission Members,

During the February 21, 2024, meeting, the Planning & Zoning Commission voted to table the application (OAR24-001) until the next regularly scheduled meeting, at the applicant's request. The applicant requested to table the item so they could address components of their proposal which did not meet the requirements of the Auburn Downtown Overlay District [\(17.91\)](#) standards.

Since then, the applicant has applied for a variance from the front façade design standards found in Sec. 17.91.050(2)(b)(i) which requires a minimum of seventy-five percent of the street-facing building façade between three feet and eight feet in height must be comprised of clear windows that allow views of indoor space or product display areas.

This item will be heard by the Zoning Board of Appeals at their regularly scheduled meeting on May 10, 2024.

Staff recommends that this item be tabled until the regularly scheduled May meeting of Planning & Zoning Commission meeting so that a decision on the requested variance has been made by the Zoning Board of Appeals. The meeting is scheduled for May 8, 2024.

If you have any questions or need any additional information, please do not hesitate to contact me.

Thank you.



COMMUNITY DEVELOPMENT DEPARTMENT
CITY OF AUBURN
1369 FOURTH AVENUE
AUBURN, GA 30011
(770) 963-4002

www.cityofauburn-ga.org

OAR #: 24-001
Feb. 21, 24 6pm

**DOWNTOWN AUBURN OVERLAY DISTRICT
ARCHITECTURAL REVIEW**

In accordance with provisions of the Auburn Downtown Overlay District regulations, new buildings, exterior improvements to existing buildings, landscaping, signage, and site planning must be approved by the Auburn Planning and Zoning Commission before issuance of a building permit.

SUBMITTAL REQUIREMENTS: 1 HARD COPY AND/OR DIGITAL COPIES OF EXTERIOR VIEWS, CONCEPT DRAWINGS, PHOTOS, LANDSCAPE PLAN, SITE PLAN, OR COLOR SAMPLES.

DATE: 11/7/23

APPLICANT NAME: Sullans Engineering LLC

PROPERTY ADDRESS: 1335 6th Street

PHONE: 706-773-3849 EMAIL: JAKESULLINS@gmail.com

PROPERTY OWNER: HBC Investments LLC

ADDRESS: 5615 Golf Club Drive, Braselton, GA 30517

PHONE: 267-971-5662 EMAIL: _____

IMPROVEMENT TYPE: (Check all that apply)

New Building Existing Building Site Dev. Sign

PROJECT DESCRIPTION:

Six townhomes along 6th Ave. The overall parcel of 1.95AC will be split in two with tract one being 0.59AC and tract two being 1.36AC. The six townhomes will be placed on tract one, once developed, the townhomes will be fee-simple and split into individual parcels. HOA will be created for the yard and easement upkeep.
*Townhomes will comply with the overlay color palette

PLANNING & ZONING COMMISSION HEARING DATE: _____ 1361 FOURTH AVE (COUNCIL CHAMBERS)

RECOMMENDATION: _____ APPROVAL _____ APPROVAL W/ CONDITIONS _____ DENIAL

CONDITIONS: _____

REVIEW COMPLETED: _____ SIGNATURE: _____



City of Auburn Development Permit

1369 4th Avenue
P.O. Box 1059
Auburn, GA 30011
(770) 963-4002 ext. 206 or ext. 208

Permit Number: OAR24001	Permit Issue Date: 01/24/24	Invoice #:
Application Id: 191694	Application Date: 01/24/24	
Owner/Property,Details		
<p>Owner Name: HBC INVESTMENTS LLC Address: 5615 GOLF CLUB DR. BRASELTON, GA 30517</p> <p>Phone #:</p>	<p>Parcel Number: AU11- 121 Location: 0 6TH ST Zoning: Total Square Ft. 0 Use Type: Construction Type: Subdivision: Class of Work: Valuation: 0.00 New Construction Volume: 0</p>	
Description of Work		
CONCEPT PLAN REVIEW FOR OAR AU11 121		
Payments (Office Use Only)		
Required Inspections Will Be Checked. Inspector Signature Required:		
<input type="checkbox"/> Rough _____ <input type="checkbox"/> Final _____		

NOTICE: NO INSPECTIONS WILL BE MADE UNLESS POSTED ON CONSTRUCTION SITE FACING STREET IN PLAIN VIEW!

FIS
Pay Direct

Thank you for your payment.

Please print this receipt and keep it for your records.

Merchant Specific : SULLI005

Property Locallon :

Owner Name : Invoice Id: I2400107

Payment Amount: \$500.00

Service Fee: \$14.75

Total Payment Amount: \$514.75

Receipt Number: 3866310018

Transaction Date: 01/24/2024 11:50 AM

Payment Type:



Account Number: *2047

City of Auburn

01/24/24 12:50 Invoice Payment

Customer: SULLI005
Name: SULLINS ENGINEERING LLC

Invoice: I2400107
Permit No: OAR24001

Item 1	500.00
Plan Review	

	500.00

Batch Id: 012424AF
Ref Num: 23661 Seq: 13 to 13

Cash Amount:	0.00
Check Amount:	0.00
Credit Amount:	500.00

Total:	500.00

**PLANS FOR ADMINISTRATIVE REVIEW
"AUBURN DOWNTOWN OVERLAY DISTRICT"**

NO.	DATE



TOTAL AREA PROJECT: 1.95 ACRES
TRACT 1 - 0.59 AC.
TRACT 2 - 1.36 AC.

OWNER / DEVELOPER:
*HBC INVESTMENTS, LLC
5615 GOLF CLUB DRIVE
BRASELTON, GA 30517
CHRIS AND AMBER HALPER
8267-971-5662*

SHEET INDEX:

1. COVER SHEET
2. SITE PLAN
3. ARCHITECTURAL - A100
4. ARCHITECTURAL - A200
5. ARCHITECTURAL - A201
6. LANDSCAPE PLAN
7. TREE INVENTORY & ANALYSIS

FUNDING: PRIVATE



DESIGNED BY:

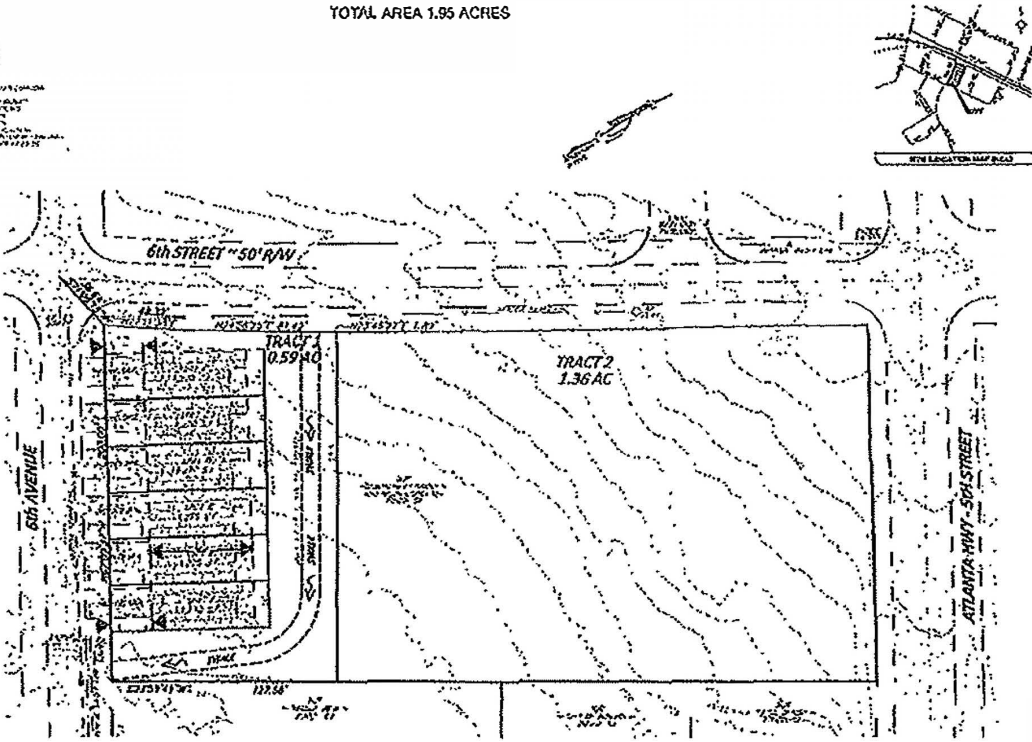


NOTES
 1. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.
 2. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.
 3. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.

TOTAL AREA 1.95 ACRES

ACT
 1. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.
 2. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.
 3. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.

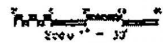
OWNER
 1. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.
 2. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.
 3. THE INFORMATION ON THIS PLAN IS BASED ON THE RECORDS OF THE PUBLIC RECORDS DEPARTMENT OF THE STATE OF GEORGIA.



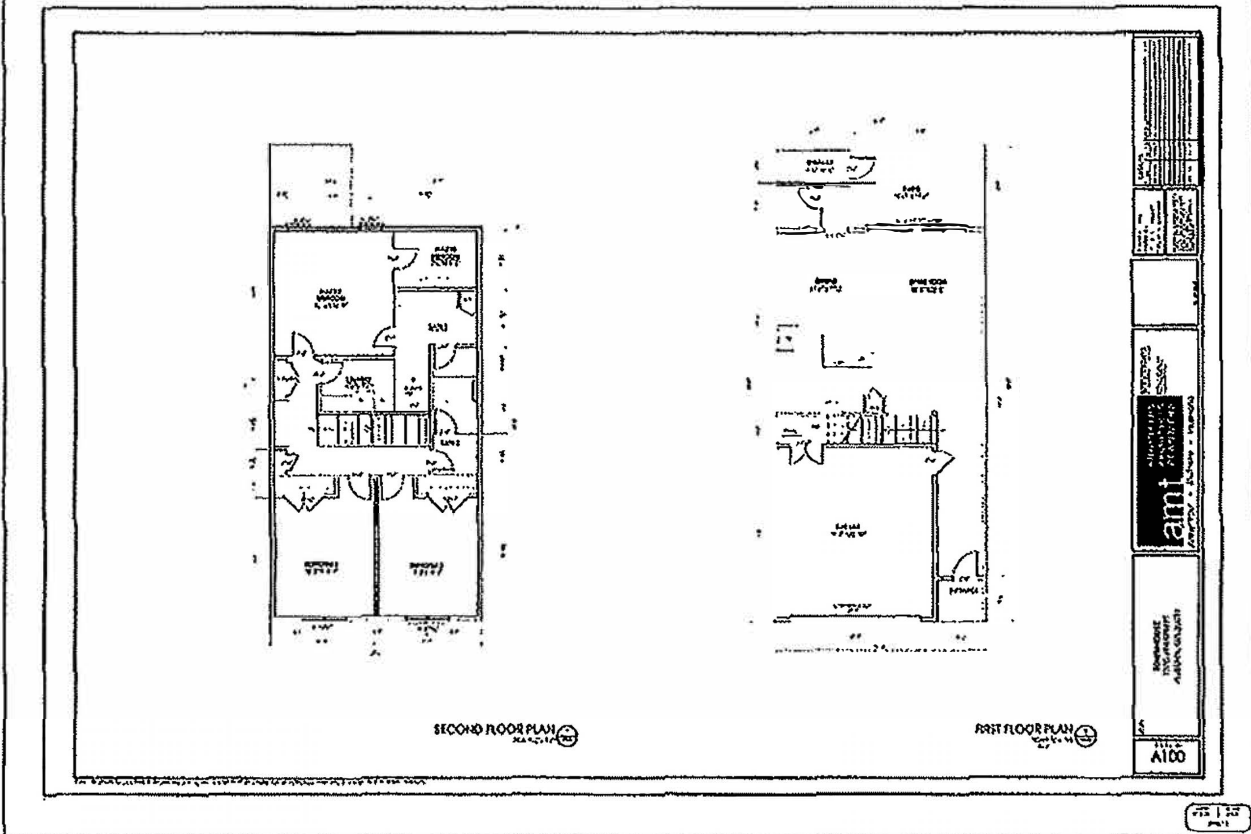
1335 6th STREET TOWNHOMES

Sullivan Engineering LLC
 1335 6th Street, Atlanta, GA 30309
 (404) 525-1234

SCALE
 1" = 40'



OWNER / DEVELOPER:
 KENTON L. DAVIS
 1335 6th Street, Atlanta, GA 30309
 (404) 525-1234



SECOND FLOOR PLAN

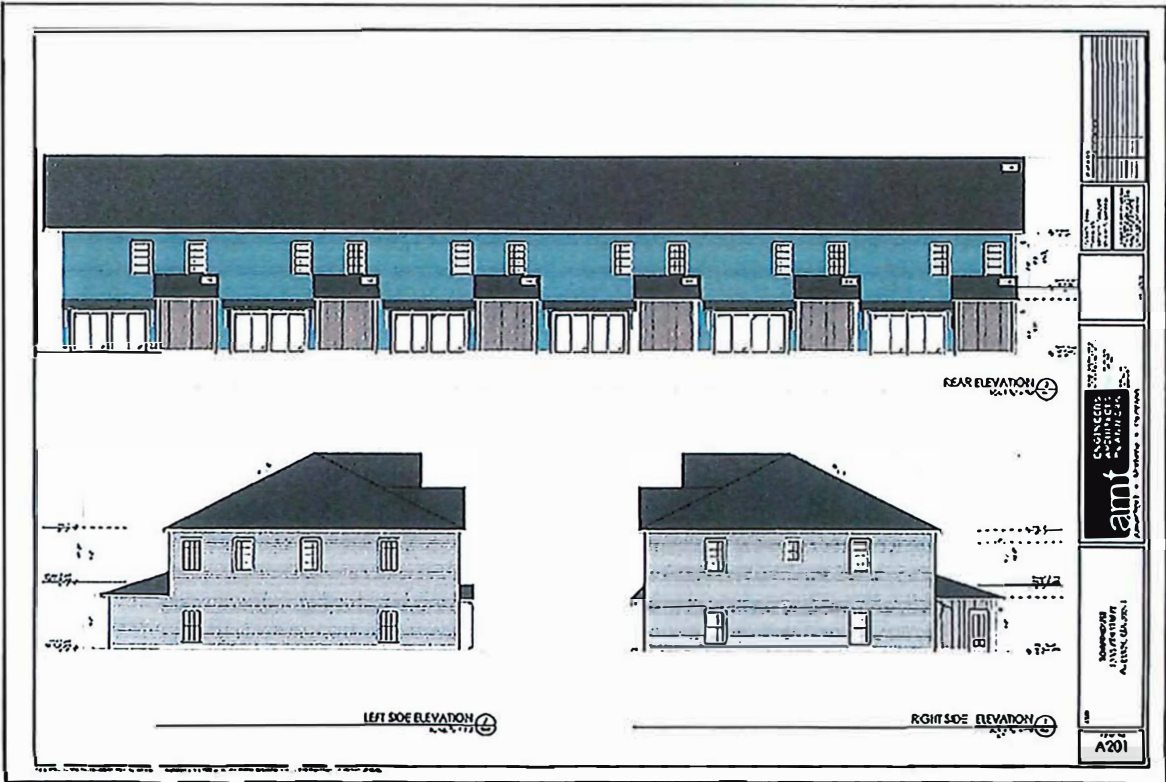
FIRST FLOOR PLAN

ami
 ARCHITECTURAL MATERIALS INCORPORATED
 1335 6th Street, Atlanta, GA 30309
 (404) 525-1234

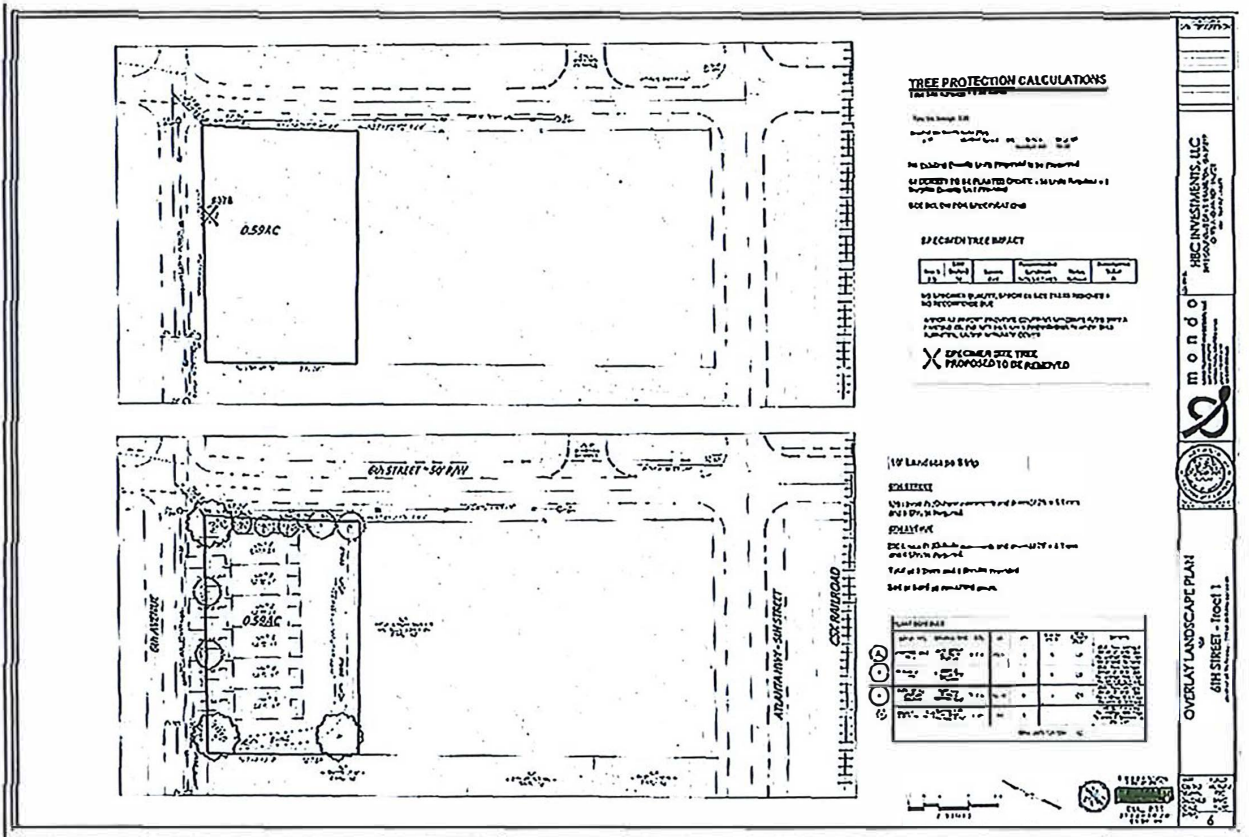
1335 6th Street



025 | 23



025 | 23



Tree Inventory & Analysis

Project: 605 STREET - 50' WID.
Location: [Address]
Date: 1/15/24

Tree Inventory:

ID	Species	DBH (in)	Height (ft)	Condition	Notes
1	Sample Tree	10.0"	25.0'	Good	Preserve

Tree Analysis:

The tree inventory and analysis were conducted in accordance with the City of San Francisco's Tree Protection Ordinance (Chapter 22.100 of the San Francisco Administrative Code). The analysis includes a visual tree inventory, a tree condition assessment, and a tree protection plan. The tree protection plan includes a tree protection zone (TPZ) around the tree, a tree preservation order (TPO) application, and a tree removal permit (TRP) application. The tree protection zone (TPZ) is defined as the area around the tree that is necessary to ensure the tree's health and safety. The tree preservation order (TPO) application is a request for the City to issue an order that prohibits the removal, damage, or pruning of the tree. The tree removal permit (TRP) application is a request for the City to issue a permit that allows the removal of the tree. The tree protection plan is a document that describes the tree's location, condition, and the proposed protection measures. The tree protection plan is submitted to the City for review and approval. The tree protection plan is a key component of the tree protection process and is essential for ensuring the tree's health and safety.

PLANS FOR ADMINISTRATIVE REVIEW "AUBURN DOWNTOWN OVERLAY DISTRICT"

DATE	REVISION



TOTAL AREA PROJECT: 1.95 ACRES
TRACT 1 - 0.59 AC.
TRACT 2 - 1.36 AC.

OWNER / DEVELOPER:
FBC INVESTMENTS, LLC
5615 GOLF CLUB DRIVE
BRASELTON, GA 30517
CHRIS AND AMBER HALPER
#267-971-5662

SHEET INDEX:

1. COVER SHEET
2. SITE PLAN
3. ARCHITECTURAL - A100
4. ARCHITECTURAL - A200
5. ARCHITECTURAL - A201
6. LANDSCAPE PLAN
7. TREE INVENTORY & ANALYSIS

FUNDING: PRIVATE



DESIGNED BY:
Sullins Engineering, LLC
302 WEST HAY STREET
WINDER, GA 30660
PHONE: (678) 687-6219
CONTACT: MATTHEW SULLINS
CIVIL ENGINEERS - LAND PLANNERS

PLANNOVA 20180121P1144

TOTAL AREA 1.95 ACRES

NOTES:

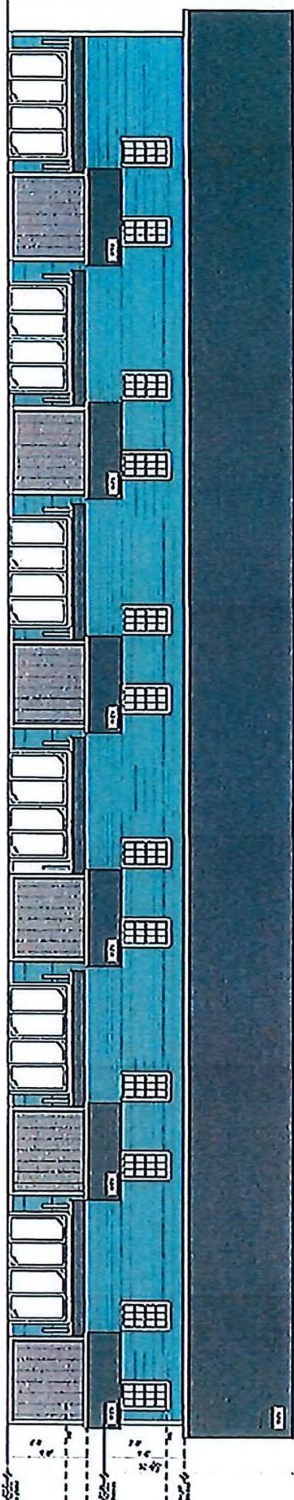
- 1) PROPERTY SHOWN IS PART OF THE ABOVE MENTIONED TRACT.
- 2) THE OWNER'S ONLY INTENT IS TO SUBMIT THIS PLAN TO THE COUNTY FOR RECORDATION.
- 3) A MORE DETAILED SURVEY WILL BE REQUIRED TO SHOW EXACT PROPERTY LINES AND TO BE SURE OF ALL DIMENSIONS.
- 4) THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 5) THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 6) THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 7) THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.

ADDITIONAL NOTES:

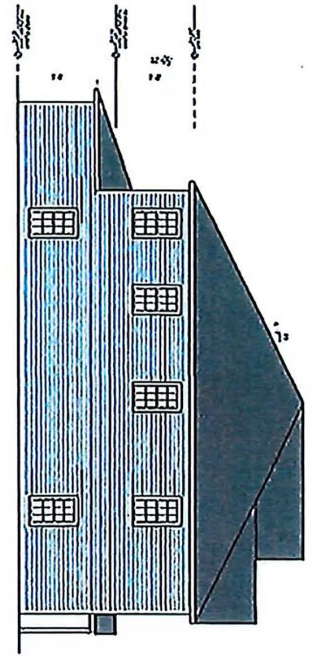
- 1. THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 2. THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 3. THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 4. THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 5. THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 6. THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.
- 7. THE PROPERTY IS NOT BEING OFFERED FOR SALE AT THIS TIME.

LEGEND:

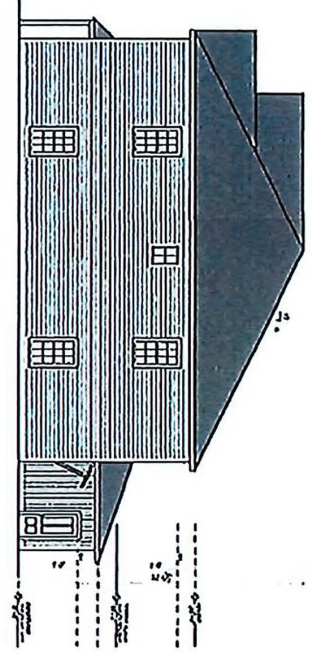
- 1. 1/4" = 1' SCALE
- 2. 1/8" = 1' SCALE
- 3. 1/16" = 1' SCALE
- 4. 1/32" = 1' SCALE
- 5. 1/64" = 1' SCALE
- 6. 1/128" = 1' SCALE
- 7. 1/256" = 1' SCALE
- 8. 1/512" = 1' SCALE
- 9. 1/1024" = 1' SCALE
- 10. 1/2048" = 1' SCALE
- 11. 1/4096" = 1' SCALE
- 12. 1/8192" = 1' SCALE
- 13. 1/16384" = 1' SCALE
- 14. 1/32768" = 1' SCALE
- 15. 1/65536" = 1' SCALE
- 16. 1/131072" = 1' SCALE
- 17. 1/262144" = 1' SCALE
- 18. 1/524288" = 1' SCALE
- 19. 1/1048576" = 1' SCALE
- 20. 1/2097152" = 1' SCALE
- 21. 1/4194304" = 1' SCALE
- 22. 1/8388608" = 1' SCALE
- 23. 1/16777216" = 1' SCALE
- 24. 1/33554432" = 1' SCALE
- 25. 1/67108864" = 1' SCALE
- 26. 1/134217728" = 1' SCALE
- 27. 1/268435456" = 1' SCALE
- 28. 1/536870912" = 1' SCALE
- 29. 1/1073741824" = 1' SCALE
- 30. 1/2147483648" = 1' SCALE
- 31. 1/4294967296" = 1' SCALE
- 32. 1/8589934592" = 1' SCALE
- 33. 1/17179869184" = 1' SCALE
- 34. 1/34359738368" = 1' SCALE
- 35. 1/68719476736" = 1' SCALE
- 36. 1/137438953472" = 1' SCALE
- 37. 1/274877906944" = 1' SCALE
- 38. 1/549755813888" = 1' SCALE
- 39. 1/1099511627776" = 1' SCALE
- 40. 1/2199023255552" = 1' SCALE
- 41. 1/4398046511104" = 1' SCALE
- 42. 1/8796093022208" = 1' SCALE
- 43. 1/17592186044416" = 1' SCALE
- 44. 1/35184372088832" = 1' SCALE
- 45. 1/70368744177664" = 1' SCALE
- 46. 1/140737488355328" = 1' SCALE
- 47. 1/281474976710656" = 1' SCALE
- 48. 1/562949953421312" = 1' SCALE
- 49. 1/1125899906842624" = 1' SCALE
- 50. 1/2251799813685248" = 1' SCALE
- 51. 1/4503599627370496" = 1' SCALE
- 52. 1/9007199254740992" = 1' SCALE
- 53. 1/18014398509481984" = 1' SCALE
- 54. 1/36028797018963968" = 1' SCALE
- 55. 1/72057594037927936" = 1' SCALE
- 56. 1/144115188075855872" = 1' SCALE
- 57. 1/288230376151711744" = 1' SCALE
- 58. 1/576460752303423488" = 1' SCALE
- 59. 1/1152921504606846976" = 1' SCALE
- 60. 1/2305843009213693952" = 1' SCALE
- 61. 1/4611686018427387904" = 1' SCALE
- 62. 1/9223372036854775808" = 1' SCALE
- 63. 1/18446744073709551616" = 1' SCALE
- 64. 1/36893488147419103232" = 1' SCALE
- 65. 1/73786976294838206464" = 1' SCALE
- 66. 1/147573952589676412928" = 1' SCALE
- 67. 1/295147905179352825856" = 1' SCALE
- 68. 1/590295810358705651712" = 1' SCALE
- 69. 1/1180591620717411303424" = 1' SCALE
- 70. 1/2361183241434822606848" = 1' SCALE
- 71. 1/4722366482869645213696" = 1' SCALE
- 72. 1/9444732965739290427392" = 1' SCALE
- 73. 1/18889465931478580854784" = 1' SCALE
- 74. 1/37778931862957161709568" = 1' SCALE
- 75. 1/75557863725914323419136" = 1' SCALE
- 76. 1/151115727451828646838272" = 1' SCALE
- 77. 1/302231454903657293676544" = 1' SCALE
- 78. 1/604462909807314587353088" = 1' SCALE
- 79. 1/1208925819614629174706176" = 1' SCALE
- 80. 1/2417851639229258349412352" = 1' SCALE
- 81. 1/4835703278458516698824704" = 1' SCALE
- 82. 1/9671406556917033397649408" = 1' SCALE
- 83. 1/19342813113834066795298816" = 1' SCALE
- 84. 1/38685626227668133590597632" = 1' SCALE
- 85. 1/77371252455336267181195264" = 1' SCALE
- 86. 1/154742504910672534362390528" = 1' SCALE
- 87. 1/309485009821345068724781056" = 1' SCALE
- 88. 1/618970019642690137449562112" = 1' SCALE
- 89. 1/1237940039285380274899124224" = 1' SCALE
- 90. 1/2475880078570760549798248448" = 1' SCALE
- 91. 1/4951760157141521099596496896" = 1' SCALE
- 92. 1/9903520314283042199192993792" = 1' SCALE
- 93. 1/19807040628566084398385987584" = 1' SCALE
- 94. 1/39614081257132168796771975168" = 1' SCALE
- 95. 1/79228162514264337593543950336" = 1' SCALE
- 96. 1/158456325028528675187087900672" = 1' SCALE
- 97. 1/316912650057057350374175801344" = 1' SCALE
- 98. 1/633825300114114700748351602688" = 1' SCALE
- 99. 1/1267650600228229401496703205376" = 1' SCALE
- 100. 1/2535301200456458802993406410752" = 1' SCALE
- 101. 1/5070602400912917605986812821504" = 1' SCALE
- 102. 1/10141204801825835211973625643008" = 1' SCALE
- 103. 1/20282409603651670423947251286016" = 1' SCALE
- 104. 1/40564819207303340847894502572032" = 1' SCALE
- 105. 1/81129638414606681695789005144064" = 1' SCALE
- 106. 1/162259276829213363391578010288128" = 1' SCALE
- 107. 1/324518553658426726783156020576256" = 1' SCALE
- 108. 1/649037107316853453566312041152512" = 1' SCALE
- 109. 1/1298074214633706907132624082305024" = 1' SCALE
- 110. 1/2596148429267413814265248164610048" = 1' SCALE
- 111. 1/5192296858534827628530496329220096" = 1' SCALE
- 112. 1/10384593717069655257060992644440192" = 1' SCALE
- 113. 1/20769187434139310514121985288880384" = 1' SCALE
- 114. 1/41538374868278621028243970577760768" = 1' SCALE
- 115. 1/83076749736557242056487941155521536" = 1' SCALE
- 116. 1/166153499473114484112975882311042672" = 1' SCALE
- 117. 1/332306998946228968225951764622085344" = 1' SCALE
- 118. 1/664613997892457936451903529244170688" = 1' SCALE
- 119. 1/1329227995784915872903807058488353728" = 1' SCALE
- 120. 1/2658455991569831745807614116976707456" = 1' SCALE
- 121. 1/5316911983139663491615228233953414912" = 1' SCALE
- 122. 1/10633823966279326983230456467906829824" = 1' SCALE
- 123. 1/21267647932558653966460912935813659648" = 1' SCALE
- 124. 1/42535295865117307932921825871627319296" = 1' SCALE
- 125. 1/85070591730234615865843651743254638592" = 1' SCALE
- 126. 1/170141183460469231731687303486509277184" = 1' SCALE
- 127. 1/340282366920938463463374606973018554368" = 1' SCALE
- 128. 1/680564733841876926926749213946037108736" = 1' SCALE
- 129. 1/1361129467683753853853498427892074217472" = 1' SCALE
- 130. 1/2722258935367507707706996855784148434848" = 1' SCALE
- 131. 1/5444517870735015415413993711568296869696" = 1' SCALE
- 132. 1/10889035741470030830827987423136593739392" = 1' SCALE
- 133. 1/21778071482940061661655974846273187478784" = 1' SCALE
- 134. 1/43556142965880123323311949692546374957568" = 1' SCALE
- 135. 1/87112285931760246646623899385092749915136" = 1' SCALE
- 136. 1/17422457186352049329324779877018479930272" = 1' SCALE
- 137. 1/34844914372704098658649559754036959860544" = 1' SCALE
- 138. 1/69689828745408197317299119508073919721088" = 1' SCALE
- 139. 1/139379657490816394634598230016147839442176" = 1' SCALE
- 140. 1/278759314981632789269196460032295678884352" = 1' SCALE
- 141. 1/55751862996326557853839292006459135776704" = 1' SCALE
- 142. 1/111503725992653115707678584012918271553408" = 1' SCALE
- 143. 1/223007451985306231415357168025836543106816" = 1' SCALE
- 144. 1/446014903970612462830714336051673082213632" = 1' SCALE
- 145. 1/892029807941224925661428672103346164427264" = 1' SCALE
- 146. 1/17840596158824498513228573442066923288544" = 1' SCALE
- 147. 1/35681192317648997026457146884133846577088" = 1' SCALE
- 148. 1/71362384635297994052914293768267693154176" = 1' SCALE
- 149. 1/142724769270595988105828587536535386308352" = 1' SCALE
- 150. 1/285449538541191976211657175073070772616704" = 1' SCALE
- 151. 1/570899077082383952423314350146141545233408" = 1' SCALE
- 152. 1/114179815416476790484662870029228290466688" = 1' SCALE
- 153. 1/228359630832953580969325740058456580933376" = 1' SCALE
- 154. 1/456719261665907161938651480116913161866752" = 1' SCALE
- 155. 1/913438523331814323877302960233826323733504" = 1' SCALE
- 156. 1/1826877046663628647754605920467652647467008" = 1' SCALE
- 157. 1/3653754093327257295509211840935305294934016" = 1' SCALE
- 158. 1/7307508186654514591018423681870610589868032" = 1' SCALE
- 159. 1/14615016373309029182036847363741221179736064" = 1' SCALE
- 160. 1/29230032746618058364073694727482442359472096" = 1' SCALE
- 161. 1/58460065493236116728147389454964884718944192" = 1' SCALE
- 162. 1/116920130986472233456294778909929769437888" = 1' SCALE
- 163. 1/233840261972944466912589557819859538875776" = 1' SCALE
- 164. 1/467680523945888933825179115639719077751552" = 1' SCALE
- 165. 1/935361047891777867650358231279438155503104" = 1' SCALE
- 166. 1/1870722095783555735300716462558876311006208" = 1' SCALE
- 167. 1/374144419156711147060143292511775262201216" = 1' SCALE
- 168. 1/748288838313422294120286585023550524402432" = 1' SCALE
- 169. 1/149657767662684458824057317004710104880464" = 1' SCALE
- 170. 1/299315535325368917648114634009420209760896" = 1' SCALE
- 171. 1/598631070650737835296229268018840419521792" = 1' SCALE
- 172. 1/1197262141301475670592458536037680830435648" = 1' SCALE
- 173. 1/239452428260295134118491707207536166087136" = 1' SCALE
- 174. 1/478904856520590268236983414415072332174272" = 1' SCALE
- 175. 1/957809713041180536473966828830144664348448" = 1' SCALE
- 176. 1/1915619426082361072947933676602893286896896" = 1' SCALE
- 177. 1/3831238852164722145895867353205786573793792" = 1' SCALE
- 178. 1/7662477704329444291791734706411573147587584" = 1' SCALE
- 179. 1/15324955408658888583583469412823146951175168" = 1' SCALE
- 180. 1/30649910817317777167166938825646293902350336" = 1' SCALE
- 181. 1/61299821634635554334333877651292587804700672" = 1' SCALE
- 182. 1/12259964326927110866866775320258115609401344" = 1' SCALE
- 183. 1/24519928653854221733733550640516231211802688" = 1' SCALE
- 184. 1/49039857307708443467467101281032462423605376" = 1' SCALE
- 185. 1/98079714615416886934934202562064924847210752" = 1' SCALE
- 186. 1/196159429228833773869868410124128489694421504" = 1' SCALE
- 187. 1/392318858457667547739736820248256979388843008" = 1' SCALE
- 188. 1/784637716915335095479473640496513958777686112" = 1' SCALE
- 189. 1/1569275433830670190958947280993027917555372224" = 1' SCALE
- 190. 1/3138550867661340381917894561986055835110744448" = 1' SCALE
- 191. 1/6277101735322680763835789123972111670221488896" = 1' SCALE
- 192. 1/1255420346064536152767157824794422334044297792" = 1' SCALE
- 193. 1/2510840692129072305534315649588844668088595584" = 1' SCALE
- 194. 1/5021681384258144611068631299177689336177191168" = 1' SCALE
- 195. 1/1004336276851628922213726259235578672354382336" = 1' SCALE
- 196. 1/2008672553703257844427452518471157344708764672" = 1' SCALE
- 197. 1/4017345107406515688854905036942314894177529344" = 1' SCALE
- 198. 1/8034690214813031377709810073884629788355058688" = 1' SCALE
- 199. 1/16069380429626067555419620147769259776711171376" = 1' SCALE
- 200. 1/3213876085925213511083924029553851955342242272" = 1' SCALE
- 201. 1/642775217185042702216784805910770391068444544" = 1' SCALE
- 202. 1/1285550434370085404433569611821540782136888896" = 1' SCALE
- 203. 1/2571100868740170808867139223743081562273777792" = 1' SCALE
- 204. 1/5142201737480341617734278447486122424547555584" = 1' SCALE
- 205. 1/10284403474960683235468556954972248449091111168" = 1' SCALE
- 206. 1/20568806949921366470937113909944496898182222336" = 1' SCALE
- 207. 1/41137613899842732941874227819888993796364444672" = 1' SCALE
- 208. 1/82275227799685465883748455639777987592728889344" = 1' SCALE
- 209. 1/1645504555993709317674969112795559751854577768" = 1' SCALE
- 210. 1/3291009111987418635349938255591119510709155536" = 1' SCALE
- 211. 1/65820182239748372706998771111822300214183111072" = 1' SCALE
- 212. 1/131640364479496745413997542223644600428362222144" = 1' SCALE
- 213. 1/263280728958993490827995084447289200856724444288" = 1' SCALE
- 214. 1/526561457917986981655990168894578401713448888576" = 1' SCALE
- 215. 1/105312291583597396331198033778915680342689777152" = 1' SCALE
- 216. 1/21062458316719479266239606755783136068537954304" = 1' SCALE
- 217. 1/42124916633438958532479213511566272133715908608" = 1' SCALE
- 218. 1/84249833266877917064958427023132544267431817216" = 1' SCALE
- 219. 1/168499666533755834129916854046265092534863634432" = 1' SCALE
- 220. 1/336999333067511668259833708092530185069727268864" = 1' SCALE
- 221. 1/673998666135023336519667416185060370139454537728" = 1' SCALE
- 222. 1/1347997332270046673039334832370120740278909075456" = 1' SCALE
- 223. 1/2695994664540093346078669664740241480557818150912" = 1' SCALE
- 224. 1/5391989329080186692157339329480482961115636301824" = 1' SCALE
- 225. 1/10783978658160373384314678658960965922231272603648" = 1' SCALE
- 226. 1/21567957316320746768629357317921931844462545207296" = 1' SCALE
- 227. 1/43135914632641493537258714635843863688925090414592" = 1' SCALE
- 228. 1/86271829265282987074517429271687727377850180829184" = 1' SCALE
- 229. 1/17254365853056597414903485854337545475570361655872" = 1' SCALE
- 230. 1/34508731706113194829806971708675090951141123111744" = 1' SCALE
- 231. 1/69017463412226389659613943417350181902282246223488" = 1' SCALE
- 232. 1/138034926824452779319227886834700363804564484446976" = 1' SCALE
- 233. 1/276069853648905558638455773669400727609129688939952" = 1' SCALE
- 234. 1/552139707297811117276911547338801452118259377879904" = 1' SCALE
- 235. 1/1104279414595622234553823094677028442376518755759808" = 1' SCALE
- 236. 1/2208558829191244469107646189354056884753037511519616" = 1' SCALE
- 237. 1/4417117658382488938215292378708113735106075023039232" = 1' SCALE
- 238. 1/88342353167649778764



REAR ELEVATION 3
Scale: 1/8" = 1'-0"



LEFT SIDE ELEVATION 2
Scale: 1/8" = 1'-0"



RIGHT SIDE ELEVATION 1
Scale: 1/8" = 1'-0"

1. All elevations shall be shown in accordance with the provisions of the International Building Code, 2003 Edition, unless otherwise noted.

100 A201 SHEET	TOWNHOUSE 1335 6TH STREET AUBURN, GA 30611	amt ENGINEERS ARCHITECTS PLANNERS Armentrout • Mooney • Thurmond	10/15/11	1. All elevations shall be shown in accordance with the provisions of the International Building Code, 2003 Edition, unless otherwise noted.	REVISIONS NO. DATE BY DESCRIPTION
				2. All elevations shall be shown in accordance with the provisions of the International Building Code, 2003 Edition, unless otherwise noted.	3. All elevations shall be shown in accordance with the provisions of the International Building Code, 2003 Edition, unless otherwise noted.

DATE: 10/15/11
DRAWN BY: [unintelligible]
CHECKED BY: [unintelligible]
PROJECT: [unintelligible]

Theo Inventory Analysis



Project: 01-21-2011
 Client: Theo
 Date: 11/21/11
 Report Date: 2011



COLLECTOR:
 The report was prepared by Theo and I, and is based on field observations and photographs of plants and animals taken during the field visit. The report is based on the information provided by the client and the information gathered during the field visit. The report is based on the information provided by the client and the information gathered during the field visit. The report is based on the information provided by the client and the information gathered during the field visit.

Theo 11/21/11

Species	Count	Notes
...
...
...



Theo 11/21/11

Sam (photo)

Count

ESTIMATE SHEET

Prepared by:
 E. Theo, Theo, Theo, Theo
 Theo Theo Theo Theo

(Signature)



This report does not constitute a warranty or representation of any kind. The report is based on the information provided by the client and the information gathered during the field visit. The report is based on the information provided by the client and the information gathered during the field visit. The report is based on the information provided by the client and the information gathered during the field visit.

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Auburn will conduct public hearings on a proposed amendment to the City's Zoning Ordinance, Section 17.50.100 regarding Commercial Vehicle Parking. The proposed amendment addresses parking commercial vehicles in residential districts in the City. A copy of the proposed amendment is available at City Hall.

The City of Auburn Planning Commission will meet on March 20, 2024 at 6:00 p.m. at the City Council Chambers, 1 Auburn Way, Auburn, Georgia 30011 and the Mayor and City Council will meet on Thursday March 28, 2024 at 6:00 p.m. at the City Council Chambers, 1 Auburn Way, Auburn, Georgia, 30011 to conduct public hearings on these matters. Public comment on these issues is invited and encouraged.